

TO: DEVELOPMENT REVIEW BOARD
FROM: CURRENT PLANNING SERVICES
SUBJECT: CASE 78-DR-2003
REQUEST: Approve site plan & elevations for a new 3-story building at the Scottsdale Healthcare Shea campus
PROJECT NAME: Medical Plaza 5
LOCATION: 10040 N 92nd St

DEVELOPER/OWNER: Scottsdale Healthcare
ARCHITECT/DESIGNER: A & E Solutions LLC
ENGINEER: A & E Solutions LLC
APPLICANT/COORDINATOR: Architecture & Engineering Solutions LLC/Martin Flood
4020 N 20th St Ste 308
Phoenix, AZ 85016
602-241-3335

STAFF RECOMMENDATION: APPROVE subject to the attached stipulations.

PUBLIC COMMENTS: There have been no comments from the public regarding this case.

REQUEST: To approve site plan, landscape plan, elevations for a new three-story office building and a one level parking structure.

LOCATION & ZONING: The site is zoned Planned Commerce Park/Planned Community District (PCP/PCD). The site is located east of the Camelback Walk, north of Mountain View Road, west of 92nd Street and adjacent to an existing parking structure.

HISTORY: Scottsdale Healthcare is developing the site under an ongoing approved master plan. The proposed development conforms to zoning case 44-Z-90. The approval of zoning case 44-Z-90 has provided a mixed use of urban activities; consisting of medical related offices, medical facilities, and support commercial activities in a campus style Commerce Park. The approved zoning case for the Scottsdale Memorial Hospital North Campus consists of; Amended Development Standards, and Campus Design Guidelines.

DISCUSSION: The existing site is vacant and has a gentle slope towards the Camelback Walk. The infrastructure, access, vehicle, and pedestrian circulation are in place, and proposed as per the existing approved campus master plan for the development of this site. The landscape design and plant materials will be consistent with the campus design guidelines.

The proposed 38-foot building has been designed to carry the architecture theme of the existing medical buildings located on campus. The elevations will have a stucco finish exterior beige (coffee milk 399), sandy brown (caramel 348) and light green (silent path 8623M) in color, punched window openings, glazed windows, and accented with vertical columns with a rust color (patchwood 346). The third story windows will consist of aluminum storefront with one inch green tinted insulated glazing.

The proposed parking structure is located south of the proposed building and east of the Camelback Walk. The proposed one level garage will consist of stucco-textured paint (beige and rust) over precast concrete, painted steel eyebrows for the horizontal element, metal stairs and cable railings.

The proposed medical office and parking structure is consistent with the approved Campus Design Guidelines.

RELATED CASES: 44-Z-1990,

Greg Williams
Senior Project Coordination Planner
480-312-7000

ATTACHMENTS:

- #1-Project Narrative
- #2-Context Aerial
- #2A-Aerial Close-Up
- #3-Zoning Map
- #4-Site Plan
- #5-Landscaping Plan
- #6-Elevations (3 pgs)
- #7-Perspective
- #8-Roof Plans (4 pgs)
- A-Stipulations/Ordinance Requirements

September 12, 2003

RE: Scottsdale Healthcare Medical Plaza V Comm # 03038
City of Scottsdale Pre-Application Information
Project Narrative Attachment

PROPOSED PROJECT NARRATIVE

Site Circulation

The existing on-site/off-site vehicular site circulation will be maintained and reinforced by this project. The existing drive from Mountain View will be the primary off campus vehicular feeder while the on campus traffic will be by a direct extension of the 91st Street which is currently terminated just beyond the parking structure. Ultimately, as needs dictate by future development of the vacant land to the campus South end, 91st Street will connect to Mountain View to the campus South end VIA a new curb cut.

Parking

Surface parking will be provided to the buildings south and across the extension of 91st to the southeast of the building. All code required parking for employees and visitors to the new building will be provided in the surface parking lot constructed as a part of the project. No code required parking would be accommodated on any existing on-campus parking structure or lot.

Drainage

All existing site areas drain to the on site Camelback Walk Wash. This existing concept will be maintained for this proposed project.

Architecture

The proposed 3 story, 38 foot high building was designed to blend in harmoniously with the other campus medical office buildings. It will have an EFIS (stucco) exterior finish that is colored to match the existing campus color schemes and it's window glazing will match other buildings which is a light green in color. The building elevations will have themes that aesthetically complement other campus buildings and other well designed buildings within the immediate surrounding area. Punched openings, some flush glass and vertical column plinths are utilized similar to the 2-story office building located on the SEC of Mountain View and 90th Street.

Proposed Land Use

The proposed land use conforms with the zoning of the property and fits exactly within the Owners intent for the balance of undeveloped land South of the Hospital tower which is a medical office use.

Current improvements on the Property

This specific building site is vacant land that has never been developed. The on site infrastructure was stubbed out near our building site for the specific use of this future building.

Compatibility with the Surrounding Area

As discussed in the Architecture portion of this narrative, this building was designed to harmoniously blend into its surrounding context both with the surrounding campus and the surrounding off campus buildings. See the Architecture paragraph for more detail on this topic.

Restricting Characteristics.

There are no know unusual or restricting characteristics that will affect our development with the possible exception of on campus building height restriction based upon campus average building height. The "magic number" we understand is 38 feet high and our building is that height so we do not see this as an issue at this time.

Please call if there are questions regarding this narrative and attached pre-application drawing package. We look forward to working with the City of Scottsdale on this important project.

Sincerely,
Architecture & Engineering Solutions LLC

A handwritten signature in black ink, appearing to read "Martin Flood", written over the typed name and title.

Martin Flood AIA
Manager / Principal



Medical Plaza 5

78-DR-2003

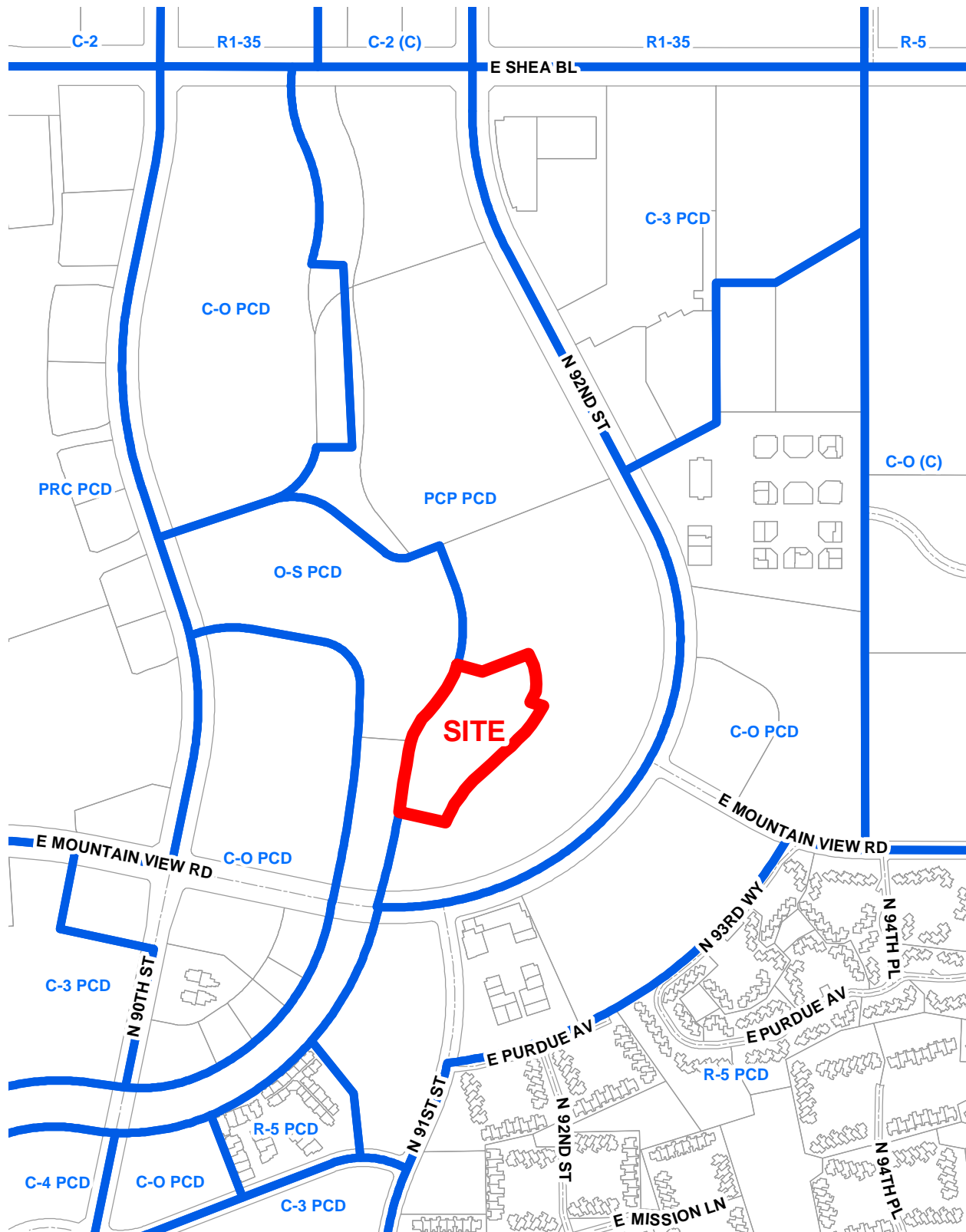
ATTACHMENT #2



Medical Plaza 5

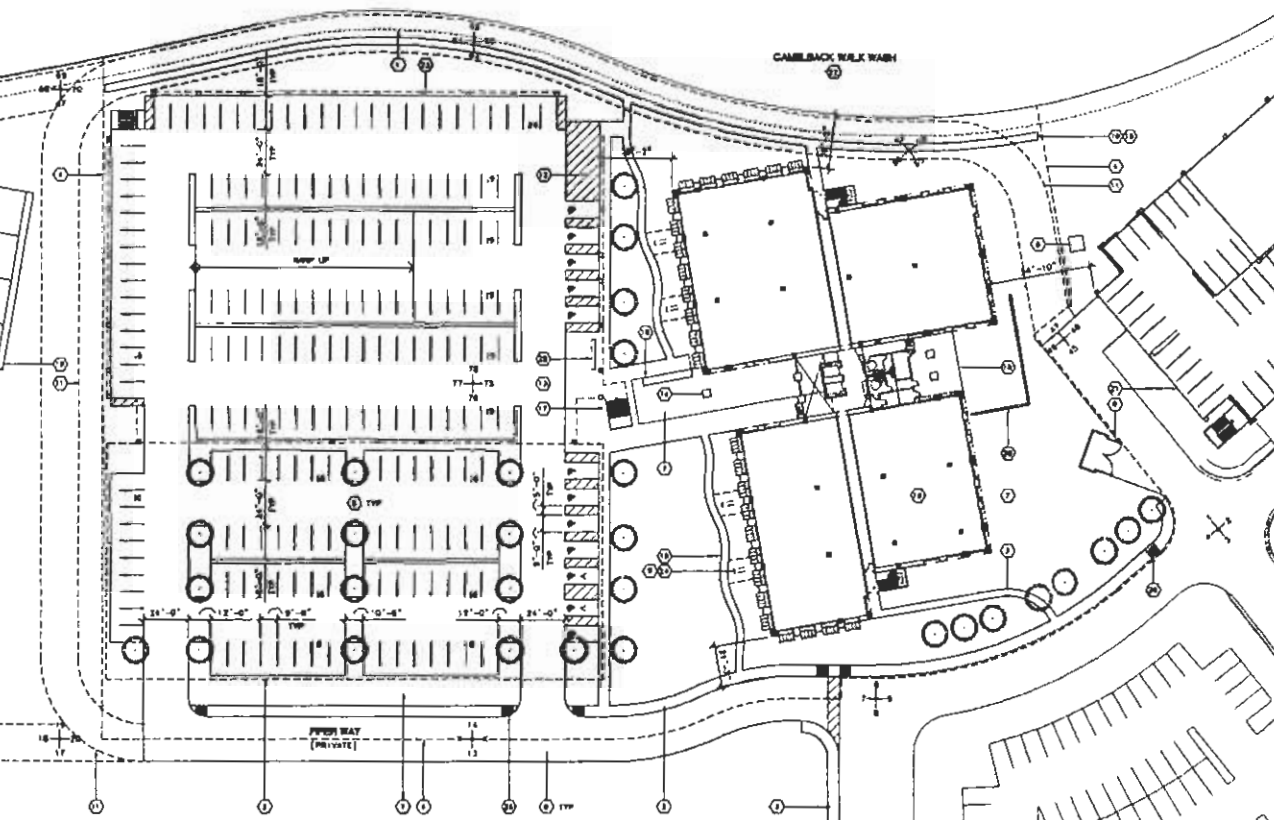
78-DR-2003

ATTACHMENT #2A



78-DR-2003
ATTACHMENT #3





SITE PLAN

1" = 20'

X X DENOTES SITE PHOTO LOCATION

ATTACHMENT #4

SITE DATA

SITE AREA (NET)	836,390 S.F. (19.20 ACRES)
SITE IMPROVEMENT AREA	163,229 S.F. (3.72 ACRES)
PARKING REQUIRED	OFFICE @ 1,200 SF = 185
	ACCESSIBLE @ 4% TOTAL = 12
PARKING PROVIDED	STANDARD (8' x 18') = 244
	ACCESSIBLE (8' x 18') = 12
	TOTAL = 256
OPEN SPACE REQUIRED	163,229 SF x 51% = 83,665 SF
OPEN SPACE PROVIDED	31,223 SF (21.5% OF 51%)
F.A.R. ALLOWED	836,390 SF x 51% = 426,959 SF
F.A.R. PROVIDED	14,181 SF

BUILDING DATA

PROPOSED USE	MEDICAL OFFICE BUILDING
OCCUPANT LOAD	100 SF / PERSON - OFFICE
OCCUPANCY TYPE	GROUP B - OFFICE
CONSTRUCTION TYPE	TYPE II - 4 HR. AIS
FOR NO.	PCF-PGB (PLANNED GROWTH PARK)
BUILDING AREA	75,181 S.F. GROSS
LOT COVER (ALLOW)	843,993 SF (83% OF NET SITE AREA)
LOT COVERAGE	75,181 S.F. = 8.9% OF 836,390 S.F. = 8.9%
STREET SETBACK	30'-0" (PRIVATE STREET)
REAR SETBACK	30'-0" (NON-RESIDENTIAL DISTRICT)
SIDE SETBACK	30'-0" (NON-RESIDENTIAL DISTRICT)
OPEN AREA SETBACK	10'-0"
BUILDING HEIGHT	35'-0" (CAMPUS AVERAGE)
FIRE SPRINKLERS	BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM

KEYNOTES

- 10'-0" OPEN AREA SETBACK (8 MAIN ONLY).
- FUTURE GRADE & 2-TIER PARKING GARAGE.
- 3'-0" CONCRETE SIDEWALK.
- LIGHT OF SITE IMPROVEMENTS.
- ELECTRICAL TRANSFORMER.
- 21'-0" x 8'-0" x 8'-0" (2-814) TRASH ENCLOSURE.
- LANDSCAPING. (SEE LANDSCAPE PLAN FOR DETAILS).
- ENTRANCE PAVING.
- OPTIONAL 2'-0" x 8'-0" CONCRETE BENCH.
- CONNECT NEW SIDEWALK TO EXISTING SIDEWALK.
- 28'-0" FIRELANE LOOP. (21'-0" x 8'-0" CONCRETE SIDEWALK & 3" B.C. OVER 6" A.B.C.).
- 18'-0" x 10'-0" LANDSCAPE ZONE.
- PEDESTRIAN DROP OFF.
- ENTRY PLAZA BY OPT. STAIRWAY.
- PROPOSED 3-STORY MEDICAL OFFICE BUILDING.
- LABORATORY & BATH BUILDING.
- PARKING GARAGE SHAPE.
- OPTIONAL EMPLOYEE PARKING.
- FUTURE MEDICAL PLAZA 6.
- STUCCO VENEER SCREEN WALL.
- EXISTING 3-TY GR PARKING STRUCTURE.
- EXISTING WALK / BIKE PATH.
- 1-TYER PARKING GARAGE.
- OPTIONAL ENTRY (FOR ACCESS TO GROUND LEVEL TENANTS).
- BI-CYCLE PARKING. (2 TYP).
- ACCESSIBLE CURB (L.T.).

DR CASE # 519-PA-2003
ZONING CASE # 44-Z-90

Architecture
& Engineering Solutions LLC
Master Planning / Architecture / Engineering / Construction Management
10000 E. 10th Avenue, Suite 100, Denver, CO 80231
303.755.1000

New Medical Office Building
MEDICAL PLAZA V
ROCKFORD, ILLINOIS
10000 E. 10th Avenue, Suite 100, Denver, CO 80231
303.755.1000



DATE	02-25-03
BY	RYAN
CHECKED	RYAN
APPROVED	RYAN

DATE	02-25-03
BY	RYAN
CHECKED	RYAN
APPROVED	RYAN



WEST ELEVATION

SCALE: 1" = 10'



NORTH ELEVATION

SCALE: 1" = 10'

**Architecture
& Engineering Solutions LLC**
Masterplanning / Architecture / Engineering / Construction Management
4020 North 20th Street Suite 308 / Phoenix, AZ 85016 / 602-241-3335 / Fax 602-241-3353

RYAN[®]
BUILDING LASTING RELATIONSHIPS



EAST ELEVATION
SCALE: 1" = 12'



SOUTH ELEVATION
SCALE: 1" = 12'

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& Engineering Solutions LLC**
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4020 North 20th Street Suite 308 / Phoenix AZ 85016 / 602-241-3335 / Fax 602-241-3353

RYAN®
BUILDING LASTING RELATIONSHIPS



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

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RYAN
BUILDING LASTING RELATIONSHIPS



View from Southwest

**Architecture
& Engineering Solutions LLC**

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RYAN
BUILDING LASTING RELATIONSHIPS

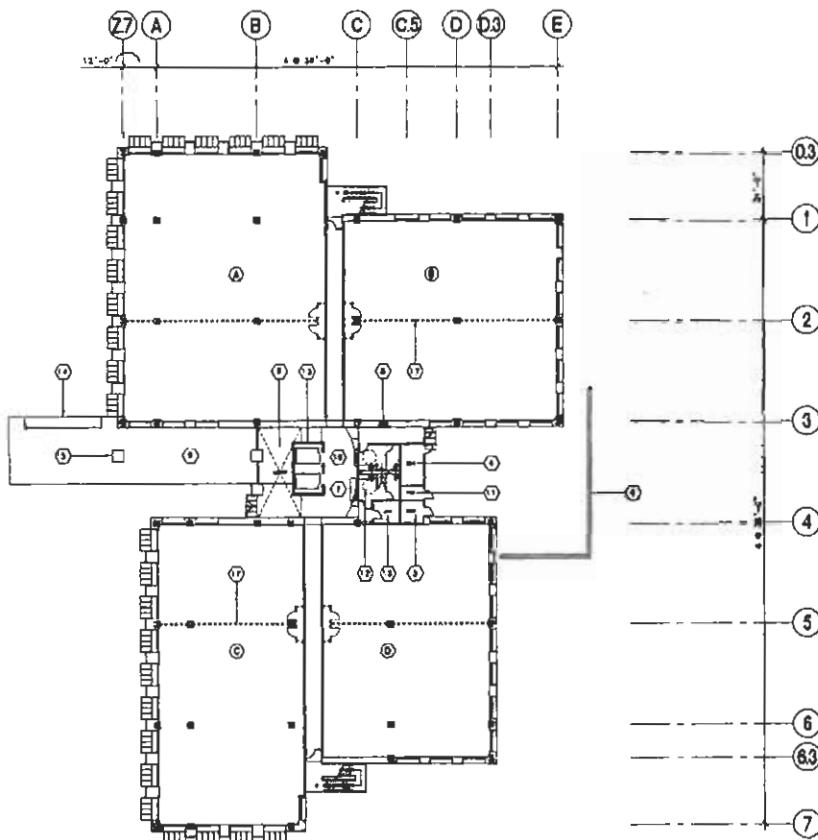


ROOF PLAN
SCALE: 1" = 20'

- 1 8'-0" x 8'-0" ALUMINUM FRAME, BRN. SH. OFF.
- 2 MECHAN. CAB. / PLUMBING CHASE, BELOW.
- 3 1'-0" x 10" THRU-HALL MET. BARRIER.
- 4 STEEL TRUSS'S.
- 5 RIE G. VENTILATION ROOF ONCHIT @ 1/8" PER FT. SLOPE, 10' MINIMUM.
- 6 STUCCO VENTRIL SCREEN WALL.
- 7 AIR-CONDITIONING UNITS.
- 8 10" x 10" STED. ROOF BOTTLE.
- 9 EXHAUST FAN.
- 10 ROOF DRAIN & CHIMNEY.
- 11 6-WAY BUILT UP ROOF SYS'DN. 1/4" PER FT. SLOPE, 1/2" MIN.
- 12 ALUMINUM STOREFRONT SCREEN BY GLASS SPANDX, PANELS.
- 13 ELEVATOR PENTHOUSE.
- 14 ROOF BELOW.

RYAN
A Division of

**Architecture
& Engineering Solutions LLC**
Masterplanning | Architecture | Engineering | Construction Management
4670 North 206th Street, Suite 300 | Plymouth, Minnesota 55425 | 763.421.3151



1ST FLOOR PLAN
SCALE: 1" = 20'

KEYNOTES

- 1 ELECTRICAL / TELEPHONE ROOM
- 2 MECHANICAL / PLUMBING SHAFT
- 3 STAIRWAY, BY OTHERS
- 4 ELECTRICAL SHUTOFF ROOM
- 5 ELEVATOR MACHINE ROOM
- 6 STUCCO VENEER SPOKER HALL
- 7 FIBER BOARD, BY OTHERS
- 8 H.C. COMPLAINT WATER COOLER
- 9 PLANTER
- 10 6'-0" WIDE ENTRY OR BULKHEAD, PHYSICAL
- 11 FINE RIVER ROOM
- 12 PUBLIC TOILETS
- 13 PASSENGER ELEVATOR
- 14 LABORATORY & MAIL BOXES
- 15 JANITOR CLOSET
- 16 PLUMBING BUILDING STRUCTURE
- 17 TENANT BUILDING WALL, BY OTHERS

NET AREA (SF)

AREA	LEVEL 1	LEVEL 2	LEVEL 3
A	6821	6686	5151
B	5298	5266	5430
C	2545	5374	2047
D	1880	1880	4584
SUB-TOTAL	22422	22432	18492
TOTAL			64442

GROSS AREA (SF)

	LEVEL 1	LEVEL 2	LEVEL 3
TOTAL	26136	25112	23390
			74638

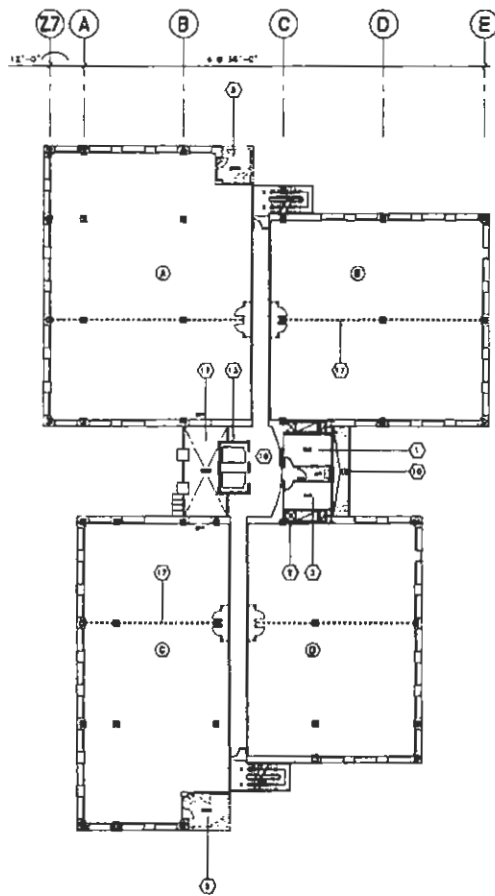
Architecture & Engineering Solutions LLC
1000 N. 10TH STREET, SUITE 100
SCOTTSDALE, ARIZONA 85257
(480) 344-1111
© 2004

New Medical Office Building
MEDICAL PLAZA V
SCOTTSDALE MEDICAL OFFICE
1000 N. 10TH STREET
SCOTTSDALE, ARIZONA 85257



DATE	03/20/04
BY	TJR
CHECKED BY	
DATE	03-21-04

1ST FLOOR PLAN
A2.0



KEYNOTES

- 1 ELECTRICAL ROOM
- 2 MECHANICAL / PLUMBING CHASE
- 3 TELEPHONE ROOM
- 4 ELECTRICAL SWITCHBOARD ROOM
- 5 ROOF DECK, 24" x 24" ROOF PAVES & ACCESS DOORS, SEE OTHERS
- 6 STUCCO VENEER SCREEN WALL
- 7 FIXED BENCH, BY OTHERS
- 8 H.C. COMPLIANT WATER COOLER
- 9 PLANTER
- 10 ROOF DRAIN & OVERFLOW
- 11 FIRE RISER ROOM
- 12 OPEN TO BELOW
- 13 PASSENGER ELEVATOR
- 14 LABORATORY & MAIL BOXES
- 15 JANITOR CLOSET
- 16 ILLUMINATED BUILDING DIRECTORY
- 17 FEMININE SEATING WALL, BY OTHERS



2ND FLOOR PLAN
SCALE: 1" = 20'

Architecture & Engineering Solutions LLC
Medical Plaza V / Laboratory / Engineering / Construction Management
1000 N. 10th Street, Suite 100 / Phoenix, Arizona 85004
Tel: 602-241-1111 / Fax: 602-241-1112

New Medical Office Building
MEDICAL PLAZA V
BOOTHILL HEALTHCARE CENTER
1000 N. 10th Street
Phoenix, Arizona 85004



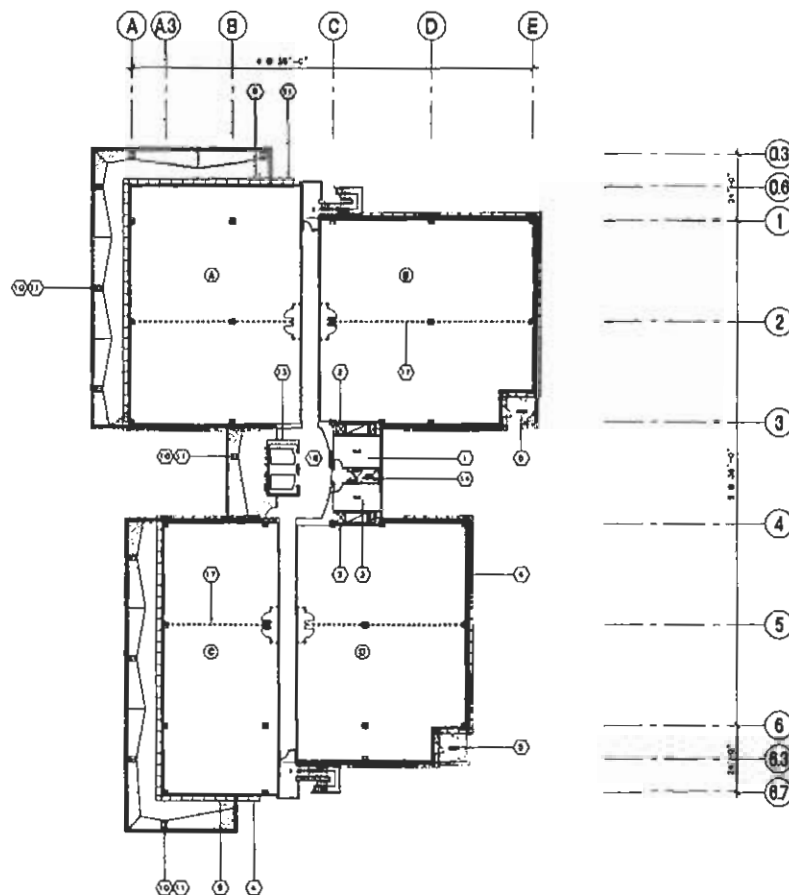
NO.	DATE	DESCRIPTION
1	10-21-08	ISSUED FOR PERMIT
2	10-21-08	ISSUED FOR PERMIT
3	10-21-08	ISSUED FOR PERMIT
4	10-21-08	ISSUED FOR PERMIT
5	10-21-08	ISSUED FOR PERMIT
6	10-21-08	ISSUED FOR PERMIT
7	10-21-08	ISSUED FOR PERMIT

PROJECT NO.	00008
DATE	10-21-08
BY	10-21-08
CHECKED BY	
DATE	
PROJECT NO.	A21
DATE	



3RD FLOOR PLAN

SCALE: 1" = 20'



KEYNOTES

- 1 ELECTRICAL ROOM
- 2 MECHANICAL / PLUMBING CHASE
- 3 TELEPHONE ROOM
- 4 STEEL TRUSS
- 5 ROOF DECK, 3' x 3' ROOF PAVEMENT & ACCESS DOORS, BY OTHERS
- 6 STUCCO VENEER SCREEN WALL
- 7 FIXED BENCH, BY OTHERS
- 8 H.C. COMPLIANT WATER COOLER
- 9 ROOF ACCESS DOOR
- 10 ROOF DRAIN & OVERFLOW
- 11 4-PLY BUILT UP ROOFING
- 12 OPEN TO BELOW
- 13 PASSENGER ELEVATOR
- 14 STEEL LADDER TO ROOF
- 15 JANITOR CLOSET W/ SINK
- 16 ILLUMINATED BUILDING DIRECTORY
- 17 "EMPTY" DOWNSIDE SKILL, BY OTHERS

Architecture
& Engineering Solutions LLC
1129 North 30th Street, Suite 100 / Phoenix, Arizona 85018-4822-2811 / Fax 602-243-9170

New Medical Office Building
MEDICAL PLAZA V
SCOTTSDALE HEALTHCARE PARK
10040 N. 30TH STREET
SCOTTSDALE, ARIZONA 85258



NO.	DATE	DESCRIPTION
1	01/27/02	ISSUED FOR PERMIT
2		
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Drawn by	CSG
Check by	
Date	01-23-02
Project	3RD FLOOR PLAN
Sheet No.	A22
Of	25

Stipulations for Case: Medical Plaza 5 – Scottsdale Healthcare Shea Campus 78-DR-2003

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building and garage elevations submitted by Architecture and Engineering Solutions LLC with a plan date of 12/1/03 provide on the plans by city staff.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Architecture and Engineering Solutions LLC with a plan date of 10/21/03.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by G.K. Flanagan Associates with a plan date of 10/21/03.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladder shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. The future expansion of the parking garage shall be consistent with the elevation submitted by Architecture and Engineering Solutions LLC with a plan date of 12/1/03 provide on the plans by city staff.

SITE DESIGN:

Ordinance

- A. The pedestrian connection south of the building and north of the parking garage that runs east and connecting to the Camelback Wash to the internal street shall be a minimum of 5-feet in accordance with the master plans approved with Zoning Case 44-ZN-1990.

- B. The parking garage shall be setback from the east property line a minimum of 10-feet in accordance with Zoning Case 44-ZN-1990
- C. Covered van accessible stalls and standard accessible stalls shall be provided at an equal ratio / percentage of covered standard parking.
- D. The parking lot shall be setback from the north-south private drive's west back of curb a minimum of 20-feet. The 20-feet shall not include the parking stall's overhang.
- E. The future parking garage expansion shall be set back from the north-south private drive's west back of curb a minimum of 20-feet.

OPEN SPACE:**Ordinance**

- F. The open space shall be provided in accordance with the amended development standards section 5.4004.C of Zoning Case 44-ZN-1990 for the entire PCP district.

LANDSCAPE DESIGN:**DRB Stipulations**

- 9. 50-percent of the provided trees shall be mature as defined by the Zoning Ordinance.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

- 10. All exterior luminaries shall meet all IESNA requirements for cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
- 11. The individual luminarie lamp shall not exceed 250 watts.
- 12. The maximum height from finished graded to the bottom of the any exterior luminare shall not exceed 20-feet.
- 13. All exterior light poles, pole fixtures, bollards, and yokes shall be a flat black or dark bronze.
- 14. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site, not including the gasoline canopy area, shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 10.00 foot-candles. All exterior luminaries shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaries shall be recessed or shielded so the light source is not directly visible from property line.

VEHICULAR AND BICYCLE PARKING:**DRB Stipulations**

- 15. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

Ordinance

- G. Bike parking shall be provided in accordance with Zoning Ordinance.

H. Bike parking shall be provided within 50-feet of the main entry.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 16. No exterior vending or display shall be allowed.
- 17. Flagpoles, if provided, shall be one piece, conical, and tapered.
- 18. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- I. At the time of review, the applicable zoning case(s) for the subject site were: 44-ZN-1990

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

- 19. a. Preliminary Drainage Report dated October 21, 2003.
- b. Aerial photo of the property and adjoining area.
- c. Quarter section maps for existing sewer and water lines dated August 22, 2003.
- d. Site and other plans prepared by Architecture & Engineering solutions, LLC.
- e. Narrative descriptions, meeting notes etc.

CIVIL IMPROVEMENT PLAN REQUIREMENTS:

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 20. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
- 21. Demonstrate consistency with the approved master drainage plan and report. (Scottsdale Memorial Hospital, rev. January 10, 1992)
 - a. Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject to review and approval by the city staff.
 - b. Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
- 22. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.

- b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
- c. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
- d. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
- e. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- J. STORM WATER STORAGE REQUIREMENT. On-site storm water storage is required for the full 100-year, 2-hour storm event, unless city staff approves the developer's Request for Waiver. See Section 2 of the Design Standards and Policies Manual for waiver criteria.
- a. The developer shall submit to the Community Development Division a Request for Waiver Review form, which shall:
 - (1) Include a supportive argument that demonstrates historical flow through the site will be maintained, and that storm water runoff exiting this site has a safe place to flow.
 - (2) Include an estimate for payment in-lieu of on-site storm water storage, subject to city staff approval.
 - b. Before final plan submittal to the Project Quality/Compliance Division, the developer shall have obtained the waiver approval.
- K. STORM WATER STORAGE EASEMENTS. With the Development Review Board submittal, the developer shall submit a site plan subject to city staff approval. The site plan shall include and identify tracts with easements dedicated for the purposes of storm water storage, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual.
- L. DRAINAGE EASEMENTS. Before the issuance of any building permit for the site, the developer shall dedicate to the city, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all drainage easements necessary to serve the site.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Mountain View	Minor Collector	Existing	Existing	Existing	Existing

DRB Stipulations

23. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
24. Additional Stipulations
- a. Bike Parking is required at the main entrance.
 - b. A bench, trash can and public telephone are required at the building entrance.

Ordinance

- M. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

INTERNAL CIRCULATION:

Need to show and construct a pedestrian path to the south of the property that connects to the greenbelt path.

DRB Stipulations

25. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
26. The developer shall provide a minimum parking-aisle width of 24 feet
27. Sight distance easements shall be dedicated over sight distance triangles.
 - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
28. Vehicular Non-Access Easement:
 - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Mountain View Road except at the approved driveway location.

Indemnity Agreements:

- b. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance**N. Drainage Easement:**

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 50 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

O. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

REFUSE:**DRB Stipulations**

29. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures and #2147-1 for double enclosures.

Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

P. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

Q. Underground vault-type containers are not allowed.

R. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

S. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

- 30. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the developer a site-specific addendum to the master report, subject to review and approval by City staff.
- 31. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:

DRB Stipulations

32. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

Ordinance

- T. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

33. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater
34. On-site sanitary sewer shall be privately owned and maintained.
35. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

- U. Privately owned sanitary sewer shall not run parallel within the waterline easement.
- V. All sewage discharged from this development shall meet local and federal pretreatment standards for sewage discharge. The facility may require a City Industrial Users Permit and related monitoring and sampling facility. All development within industrial (I-1) zoned districts shall provide a monitoring manhole.
- W. Oil and grease interceptors shall be provided at service and body shop connections to the sanitary sewer. The interceptors shall be located as to be readily and easily accessible for cleaning and inspection.

BRIDGES:**DRB Stipulations**

36. Bridges:
- a. All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
 - b. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

CONSTRUCTION REQUIREMENTS**DRB Stipulations**

37. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
 - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

- X. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

VERIFICATION OF COMPLIANCE

DRB Stipulations

38. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit: